

# Page 1: DRC Vacation / Agreements - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

**NOTE:** To be filled out by Department

Case Number	
Date of complete submittal	3-25-2015

**NOTE:** For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	LAUDERDALE CITY CENTER ASSOCIATES
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	704 NE 1ST STREET
E-mail Address	MEW@MEWCI.COM
Phone Number	561-756-1983
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

**NOTE:** If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	MICHAEL E WOOD
Applicant / Agent's Signature	Michael E Wood
Address, City, State, Zip	18516 OCEAN MIST DR. Boca Raton, FL 33498
E-mail Address	MEW@MEWCI.COM
Phone Number	561-756-1983
Letter of Consent Submitted	REQUESTED

Development / Project Name	8TH AVE Residences
Development / Project Address	Existing: 215 8TH AVE. New:
Legal Description	LOT 5 BIK 6 DAVIS ADDITION 3-28 D
Tax ID Folio Numbers (For all parcels in development)	5042 02 05 0470
Request / Description of Project	UTILIZATION OF SUBJECT LOT FOR OFFSITE PARKING FOR GUEST OF 8TH AVE Residences
Applicable ULDR Sections	
Total Estimated Cost of Project	\$ 10,000 (Including land costs)

Current Land Use Designation	
Current Zoning Designation	
Current Use of Property	

**Additional property owners who wish to be included in the request, if applicable. Use additional sheets if necessary.**

Name and Signature	Folio Number	Subdivision	Block	Lot

**NOTE:** Applicant must indicate if/how the following provisions are met:

1. All utilities (list below) located within the easement and/or right-of-way must be relocated pursuant to a relocation plan; and
2. The owner of the utility facilities must consent to the vacation; or
3. A utilities easement must be retained over the area or portion thereof; or
4. An easement in a different location must be provided for the utility facilities by the owner to the satisfaction of the City; or
5. Any combination of same and utilities maintenance are not disrupted.
6. Applicants shall satisfactorily support vacation requests by addressing each point listed in Sections 47-24.6 and 47-24.7 of the city's Unified Land Development Regulations (ULDR) as applicable.

**TECO, Peoples Gas**  
5101 NW 21<sup>st</sup> Avenue  
Fort Lauderdale, FL 33309  
(954) 453-0817, (954) 453-0804 fax

**Florida Power and Light**  
Service Planning  
3020 N.W. 19 St.  
Fort Lauderdale, FL 33311  
(954) 717-2057, (954) 717-2118 fax

**BellSouth**  
8601 W. Sunrise Blvd., 2<sup>nd</sup> Floor  
Plantation, FL 33322  
(954) 476-2909

**Comcast, Inc.**  
2501 SW 145 Ave, Suite 200  
Miramar, FL 33027  
(954) 534-7417, (954) 534-7083 fax





**CITY OF FORT LAUDERDALE**

## **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:** April 28, 2015

**Project Name:** Lauderdale City Center Associates / 8<sup>th</sup> Avenue Residences

**Case Number:** PRW15006

**Request:** Property and Right-of-Way Discussion Item:  
Temporary off-site Parking and Staging for construction project

**Location:** 702 NE 1<sup>st</sup> Street

**Zoning:** Boulevard Business (B-1)

**Land Use:** Medium-High

**Project Planner:** Alex Scheffer



**Case Number:** PRW15006

**CASE COMMENTS:**

**Please provide a response to each of the following comments:**

1. Provide drawing and a narrative showing/discussing the area and proposed work activities. Please identify all components of the public right-of-way, including fire hydrant, driveway, catch basins, manholes, sanitary cleanouts, metered parking spaces, and all underground utilities within the proposed closure area. Closures shall not encroach or affect the site triangles at any time.
2. Please discuss the status of the metered on-street parallel parking spaces affected by the proposed closure with the City's Transportation Mobility Department. Please pay all fees associated with this parking space closures as required by TAM.
3. Please be advised that a Building Permit will need to be issued for temporary fencing and screening of the property. Please contact Alex Hernandez – Assistant Building Official at [ahernandez@fortlauderdale.gov](mailto:ahernandez@fortlauderdale.gov) or 954 828-5275 for details on submittal requirements.
4. Provide a Truck Routing / Parking Plan to discuss the parking on-site with this development of the property. Discuss the property improvements proposed, such as but not limited to: temporary paving, gravel, silt fence, etc.
5. Provide details on how stormwater will be retained and maintained on-site.
6. Provide details in Truck Routing / Parking Plan to show how the neighborhood impact will be minimized and what routes to the construction project will be utilized.
7. Traffic and pedestrian control and detour plan (Maintenance of Traffic Plan-MOT) shall be provided for all work within the right-of-way, and shall be in accordance with the most recent Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD). A traffic and pedestrian control plan shall be submitted and approved prior to the approval of the right-of-way permit. Please submit the MOT Plan, as well as the complete MOT Routing Form, which can be found on the City's Website, to Mr. Heslop Daley at the City's Transportation & Mobility Department for his approval. He can be reached at (954) 828-5734 or [hdaley@fortlauderdale.gov](mailto:hdaley@fortlauderdale.gov).

**Case Number: PRW15006**

**CASE COMMENTS:**

Please provide a response to the following:

1. There are no conflicts with any utilities as long as the contractor is not excavating.  
(See attachment).  
Public Works Atlas 025042  
Or

NONE – Signature NOT required.